

# Jensen Lakes

Shoreline Collection Stage 1A - Estate Homes  
Architectural & Landscape Guidelines  
January 2016

**MELCOR**



# Shoreline Collection

Estate Homes



Architectural & Landscape Guidelines Phase 1A January 2016

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*Jensen Lakes*  
*By*  
*MELCOR*

**Architectural and Landscape Guidelines Phase 1A**

***Shoreline Collection***  
Executive Homes

**1.0 Objective**

The general objective of these guidelines is to express lifestyle through design, creating interesting and cohesive streetscapes of varied architectural styles, that are distinctive and uniquely unified.

**2.0 Architectural Theme**

The extraordinary setting of this lake community with its lifestyle amenities, will create the casual sophisticated 'lakestyle living'.

**2.1 Streetscape**

Streetscapes will be comprised of five distinctive styles. Encouraging originality and individual expression, style preferences will be selected from Modern Beach, Prairie, Craftsman, French Country, and Coast Nouveau.



Each building in the streetscape will contribute to the visual identity of the neighborhood. Scale and massing will reflect architectural intent with relaxed and airy features. With an emphasis on relationship, the integration of design styles will be compelling.

**2.2 Style Repetition**

To ensure diverse and interesting streetscapes, predominance of style will be no more than fifty per cent of the streetscape. Example: Twelve lot eyebrow or cul de sac = maximum six homes of a single design style.

**3.0 House Size, Width, and Massing**

Houses are to have a consistency of mass and volume within the streetscape. As such, house widths and sizes must relate proportionately to the lot width and neighboring houses.

Massing, style, and setback may be adjusted on a lot to lot basis, to enhance the streetscape. Entranceways will be covered at the first level.



### 3.1 Minimum Width Table

The minimum house width at the front elevation:

(two story models must meet the minimum width at both the main and second floor, for suitable massing) \*\*

Note: The minimum width applies to both the rear and front elevations on lots designated high visibility.

For lots designated moderate visibility, the minimum width requirement does not apply to the rear elevation.

Building Pocket Size	Minimum House Width	Maximum Garage Frontage Ratio of pocket width	Minimum Entry Width Exterior Measurement
Group A 40'	36'	75%	10'
42'	38'	75%	10'
44'	38'	75%	10'
Group B 38'	36'	71%	10'
36'	36'	71%	10'
34'	34'	71%	10'

\*\*Homes incorporating an offset covered deck area will be reviewed on an individual basis, for consideration in meeting the minimum width and massing requirements at the rear elevation, on high visibility lots.

### 3.2 Oversized Garages

Oversized (24' +) and triple garages must include articulation in the form of a minimum 12" jog, to break up the expanse of flat wall plane and roof line. Oversized double garages will include a street facing window.

### 4.0 Repetition

Similar or approximately identical elevations must not be repeated within three lots or directly across the street XOAX

OA

Lots designated high or moderate visibility at the rear elevation, will address repetition at both the front and rear.

To ensure diverse and interesting streetscape, predominance of style will be no more than fifty per cent of the streetscape. Example: Twelve lot eyebrow or cul de sac = maximum six homes of a single design style.



### 5.0 Style Profiles

Streetscapes will be comprised of five distinctive styles. Encouraging originality and individual expression, style preferences will be selected from Modern Beach, Prairie, Craftsman, French Country, and Coast Nouveau.

Each home will draw details and characteristics from only one architectural style. Acceptability of design style will rest solely with the Developer.



### Craftsman

The Craftsman home is characterized by low slung roof lines and an articulated façade.

Gabled or hip roofs with inset front facing gables, minimum 5/12 roof pitch and maximum 7/12 with 24" overhangs.

Massing reflects an articulated façade with variations in plane and roof lines. Second floor development above the garage should be set back no less than 6' from front. Development above garage is required and will include a minimum of two variations in wall plane.

Entry veranda or porch enclosed with a roof line at the first level.

Columns/posts are minimum 10" panel clad with collar trims or a substantial upper post with oversized base, typically stone clad.

Craftsman homes are finished in smooth stucco or Traditional profile composite lap siding. Simple raised trim details are composite board or metal clad on both siding and stucco cladding. Trims are minimum 5" and may include a sill detail.

Additional finishes at visible elevations are layered horizontally and include flat panel with raised battens, shakes and Board & Batten vertical siding. Stone is applied in panel effect. Stone profiles suited are Mountain Ledge, Rustic Ledge, Cliffstone and Bluffstone.

All gables to include 6" shadow band and stepped shadow bands are recommended.

Windows are vertical in orientation and ample with minimum 5/8" grills in traditional pattern.

Colors suited to the Craftsman style are medium earth tones or historical colors accented by light contrasting trims.



### French Country

The French Country home is dominated by steep sloping hip roofs which may include prominent front facing cross gables.

The massing is elegant and timeless.

Roof slopes are minimum 8/12 front to back with 10/12 side slopes or minimum 9/12 overall with 12" to 18" overhangs. Narrow dormers are a common feature.

Second floor development above the garage is required and will include a minimum 3 variations in wall plane and will project a minimum of fifty percent of the garage projection.

Recessed portico entries are enclosed at the first level and may be framed by a roof above.

Multi-paned windows are vertical in orientation and may be separated by a narrow space or ganged.

Glazing is balanced and organized. Window grills may be full or upper sash with a grid pattern of 4 to 10 panes per sash. Windows may be arched in a soft curve at the top (elliptical).

Bay, bow, and boxed out windows may be features, often with a curved shed roof line.

Decorative moldings are typically installed at crown and sill of windows, often combined with panel shutters to match window shape. Cornice moldings are installed at eave lines in combination with stepped shadow bands at gables. Quoining may add definition at stucco or stone work.

The home is clad in smooth stucco, stone, or brick. Siding is not permitted on the French Country style. Brick or stone is applied in panel effect and accented with heavy top trim. Stone profiles suited are Cobblestone, Cypress Ridge, Hillstone, Limestone, Field Ledge and Cliffstone.

Colors suited to the French Country home are mid to light earth tones with a light, soft contrast at the fascia and accents. Trims may also be the same color as the wall cladding. Stone colors are tonal and complimentary.





## Modern Beach

Characterized by vertical emphasis, symmetry and simplicity. Massing is balanced and graceful. Roofs are gables or shed, front and side facing at minimum 8/12 pitch with 12" overhangs. Cottage roof lines are not suited.

Second floor development above the garage is required and will include at least one variation in wall plane and extend no more than seventy five percent of the garage projection.

Entry depth is 5', with a roof cover at the first level. A flat roof cover of 4' is well suited. Roof is supported by 10" x 6" or 10" x 10" columns with narrow collar trim top and bottom.

Windows have vertical orientation, are expansive, and may be single or ganged units with transoms. Window grills are not suited. Boxed out windows may be a feature, however bay or bow windows are not appropriate. Feature windows do not include octagonal, elliptical, round or rake.

Slim trims are installed at the crown and sill only, extending no more than 1 1/2" past frame.

Gables are finished in a combination of flat panel with raised battens and Board & Batten vertical siding. Shutters and louvers are not suited.

The home is clad in siding or stucco with stone applied in panel effect only. Stone profiles suited are Stacked stone or Ledge stone in light, tonal colors.

Colors suited are muted, beachy shades at the walls with tonal fascia and trims.



## Prairie

The Prairie home is characterized by gently sloping hip roofs and low proportions.

Massing is understated with horizontal emphasis and simplified forms.

Hipped roof lines with a minimum 5/12 and maximum 6/12 roof pitch and 24" or wider overhangs.

Second floor development above the garage is required and will include a minimum two variations in wall plane and extend no more than 75% of the garage projection.

Entry is recessed and covered at the first level and defined by large square columns.

Windows are expansive, organized and consistent in shape with rectangular transoms or a single horizontal grill or mullion at the window.

Boxed out windows may be a feature, while bay and bow windows are not suited.

Trims and surrounds are 6" simple yet definite, emphasizing the horizontal.

Large, heavy angular knee braces are a feature.

Flat panel details or B & B profile siding are layered horizontally at visible elevations.

The Prairie home is clad in smooth stucco or Traditional profile composite lap siding with stone applied in panel effect. Stone profiles suited are Stacked stone, Mountain Ledge, Cliffstone, and Brick.

Colors suited to the Prairie style are warm earth tones with lighter, complimentary trims and tonal stone.



## Coast Nouveau

The Coast Nouveau is characterized by flat roofs in multiple levels, sleek lines and understated style.

Massing is considerate and sophisticated with the creation of layers and stepped planes.

Flat roof lines will include a 12" to 16" fascia with shallow ledge or coping and 24" overhangs.

Second floor development above the garage is required and will project a minimum of 40 per cent of the garage projection and a maximum of 70 per cent.

Entrances include cover within the height of the main floor, supported by slender aluminum clad or steel columns.

Windows are expansive and vertical in orientation with 5/16" grills in a unique pattern. Small square feature windows may add interest.

This style is linear as angles are not suited.

Trims are applied irregularly at openings. A trim band may be installed under eaves.

The home is clad in siding only, applied horizontally with ledge stone applied in panel effect. Straight edge shakes will enhance the presentation.

Colors suited are muted shades at the walls with tonal fascia and trims.

*Sloped roofs may be considered on an individual basis for the Coast Nouveau, with cohesive combinations of roof style with minimal slopes and multiple levels (roof styles cannot be combined).*

## **6.0 Site Planning and Grading**

### **6.1 Conformance with Grading Plans**

Lot grading must be in strict conformance with the approved grading plans. Variations should be absorbed within the building mass to minimize steep slopes and contrast between lots.

All plot plans and stakeouts must be done by the designated surveyor, to provide consistency in establishing building elevations throughout the neighborhood.

### **6.2 Risers and Entry Steps**

The 'Lakestyle' is low and grounded. Generally three or less risers at the entry step, reinforces this style. Front entry steps are restricted to a maximum of four risers per set. Where the grade or design call for more than four risers, the run must be split.

### **6.3 Parging**

Exposed concrete and parging will be restricted to a maximum of 24" at all elevations.

### **6.4 Retaining Structures**

Retaining structures are the responsibility of the property owner and must not compromise the grading design and lot drainage. Natural elements such as rock and wood are preferred for construction of retaining walls. Landscape block can also be utilized and concrete is acceptable if appropriately finished to view. Retaining structures over 1.2m in height must be stepped to reduce the visual mass.

## **7.0 Garage and Driveway**

Double attached garages located in accordance with the garage location plan, designed to integrate and minimize the garage appearance while emphasizing the architectural features and massing of the house.

### **7.1 Garage Frontage Maximum**

The garage frontage on lots will not exceed 75% of the pocket width for lots in Group A and 71% for lots in Group B (reference '3.0 House Size, Width, and Massing').

### **7.2 Oversized Garages**

Oversized (24' +) and triple garages must include articulation in the form of a minimum 12" jog, to break up the expanse of flat wall plane and roof line. Oversized double garages will include a street facing window.

### **7.3 Driveway Material**

Driveway, entry, and walkway will be constructed of an upgraded surface, such as Exposed Aggregate.

### **7.4 Front Drive Configuration**

Driveway is not to exceed the width of the garage, to the garage front, where the width may then flare to include a walkway to the front and/or rear yard.

### **7.5 Side Drive Configuration**

Driveway will be no wider than 22' at the street or boulevard, flaring out in an undulating configuration to the garage entrance.

The driveway cannot be extended in front of the garage.

Side drive will require a 1.5m integrating strip of landscaping between the driveway and the property line.

The Builder/Purchaser is responsible to ensure there are no obstructions or hindrances to the side driveway and minimum clearance is maintained to the satisfaction of local approving authorities. The Builder/Purchaser shall





also be responsible for the relocation and hardiness of any boulevard tree(s) that are in conflict with the driveway configuration.

Side driveways will not be permitted on corner lots.

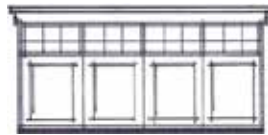
### 7.6 Overhead Doors

Maximum overhead door permitted is height 8'. The height above overhead door should not exceed 18". Overhead doors will be an upgraded product appropriate to style and painted to blend with the exterior.

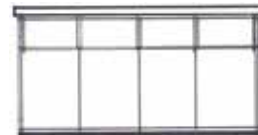
Examples:



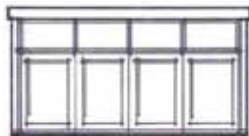
Craftsman



French Country



Modern Beach



Prairie

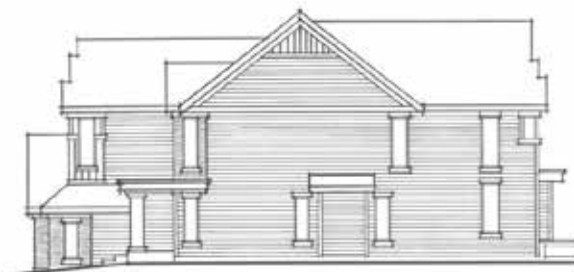


Coast Nouveau

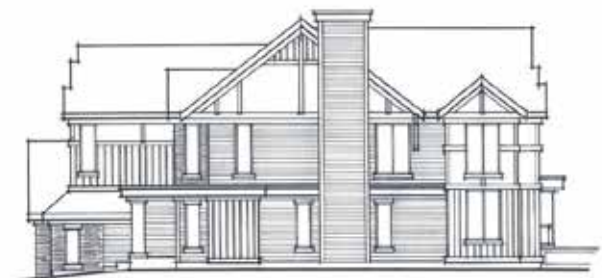
### 8.0 Corner Lots

Special design consideration is required with a higher standard applied for lots on, or visible from collector roadways. Flanking side elevation on corner lots must have full front elevation treatment.

- Substantial roof line between 1<sup>st</sup> and 2<sup>nd</sup> floor. This roof line must be supported by projections and intersect with same in order to **appear intentional**
- Relief in wall plane is required (jogs/box outs)
- Appropriate roof overhangs
- Number of openings suited to wall area (**avoid blank wall space**)
- Detailing consistent with the front elevation, including grills and trims
- Window configuration and groupings consistent with front and styling
- Appropriate massing



Inappropriate Corner Treatment  
'Modern Beach'



Appropriate Corner Treatment  
'Modern Beach'

## 9.0 Visibility Lots, Special Consideration

### 9.1 High Visibility Lots

Lots in the first phase: Block 4, Lots 1 - 15

Homes backing onto public streets or amenities require special design consideration at the rear elevation.

These elevations must reflect appropriate massing, window placement and stylistic distinction consistent with the front elevation. Variation in wall plane and substantial roof mass between floors is required. Minimum width requirements apply at the rear, for high visibility lots.



Inappropriate High Visibility Rear Treatment  
'Craftsman'



Appropriate High Visibility Rear Treatment  
'Craftsman'

### 9.2 Moderate Visibility Lots

Lots in the first phase: Block 4, Lots 23 - 31

Homes backing onto the trail require special design consideration at the rear elevation. These elevations must reflect appropriate massing, window placement and stylistic distinction. Variation in wall plane and substantial roof mass between floors is required. Minimum width requirements DO NOT apply at the rear, for moderate visibility lots.



Inappropriate Moderate Visibility Rear Treatment  
'Craftsman'



Appropriate Moderate Visibility Rear Treatment  
'Craftsman'



## **10.0 Walk Out Lots**

The rear elevation of these homes must present an integrated building form. A combination of architectural measures will be required to address suitable proportions and to avoid a towering appearance. Graduated roof lines sloping to view, dormers, decks, detailing and articulated facades, will be some of these measures. The distance from grade to the first substantial roof line will not be more than 20'. Decks must be constructed concurrently.



## **11.0 Roof Massing and Materials**

Roof shapes and slopes are a major component in the expression of architectural styles in Jensen Lakes.

### **11.1 Roof Shape, Slope and Overhangs**

Slope and overhang are specific to style profile. 8" fascia is the minimum requirement for the Modern Beach, French Country, Craftsman and Prairie styles. The Coast Nouveau style requires 12" to 16" fascia.

Cantilevers and box outs on visible elevations must include a separate roofline and minimum overhang.

### **11.2 Shingles**

Shingle products approved for use include:

IKO Cambridge, BP Mystique, Gaf Timberline, Owens Corning Duration, in a range of earth tone colors.

Other roofing products will be considered on an individual basis.

### **11.3 Flues and Chimneys**

Flues and chimneys must be contained in a corbelled chase.

## **12.0 Exterior Cladding**

Specific to style (see style profiles)

Exterior cladding will include Hardie Board siding, stucco in a fine Sand or Float finish, Acrylic stucco, and brick or stone in stacked application. Vinyl siding and shakes are not permitted.

A minimum 150 square feet of stone/brick is required at the front elevation.

Stone and trim detailing returned 24".

Trim details will be Smart Board or Hardie trim, in size appropriate to style.

### 13.0 Defining Details, Entrance Treatment

See style profiles.

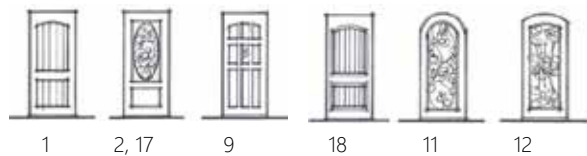
The 'Lakestyle' is low and grounded. Generally three or less risers at the entry step, reinforces this style. Front entry steps are restricted to a maximum of four risers per set. Where the grade or design call for more than four risers, the run must be split.

Entranceways will be covered at the first level.

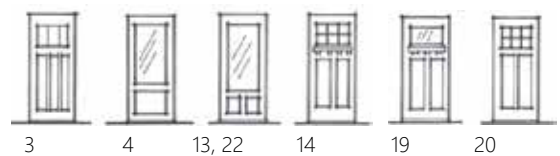
#### 13.1 Entry Doors

The entry door will be the final detail in creating distinction and exemplifying the style persona. The following illustrations are standard production door styles available from the Builder's supplier. The numbers shown on the illustrations correspond with the manufacturer and product codes provided, as listed in Appendix 'B'. These are a sampling of styles that are readily available. Get inspiration from the 'Lakestyle' and architectural style of your home.

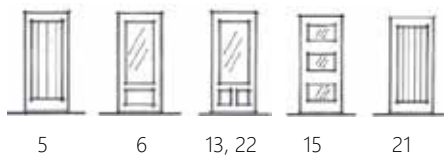
##### French Country



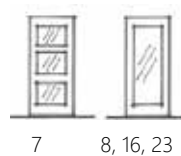
##### Craftsman



##### Prairie



##### Modern Beach



##### Coast Nouveau



#### **14.0 Colors**

Colors are an integral element of reinforcing the design style and lifestyle of Jensen Lakes. Sample color palettes have been provided and reflect the materials, finishes and colors appropriate to specific architectural style.

Shades have been selected from the middle of the spectrum with trims and fascia restricted to light, soft contrasts for a fresh, new aesthetic.

Trim and fascia must be a single color\*. The entry door will be an accent color that is not a tone of the primary colors. The accent color may be bright, bold or a softer beach tone.

*\*On stucco exteriors in the 'light palette' for the French Country and Modern Beach styles, trim matching the stucco cladding will be considered on an individual basis*

#### **14.1 Repetition of Color**

Colors and finishes specific to style are divided into 'Light' and 'Dark' palettes. Cladding colors will not be repeated on adjacent lots. To ensure diverse but blended streetscapes, no more than two light or dark palettes will be approved in a row.



#### **14.2 Sample Color Schemes**

See Appendix 'A' for sample color palettes.

#### **15.0 Accessory Buildings**

Where structures are visible from public adjacencies exterior finish, style, and color shall compliment those used on the house. Roof style and materials are to match the materials used on the roof of the house. The side wall elevations of all accessory buildings/sheds shall not extend higher than adjacent fencing.

Accessory buildings on lots backing onto an amenity with decorative metal or chain link fencing, must be a minimum of three meters back from the rear fence line.

#### **16.0 Landscaping**

Landscaped yards in Jensen Lakes will be filled with windswept grasses and lake inspired flora, creating a welcoming path to the front entry. Greenery should fringe the concrete hard surfaces to soften. Large rocks and dry river rock beds may incorporate wood features such as benches or stumps, with thick rope accents. Shaded areas will be created with billowy shrubs and trees, mixed with pine and spruce evergreens. The lake look is casual and tidy. Tree and shrub colors should be a mix of tones while flowering varieties should emulate sea glass, with soft pinks, purples, creams and blues.

#### **16.1 Minimum Requirements**

The minimum standard for front yard landscaping includes sod, one tree and a separate edged shrub bed(s) with 12 shrubs. Edging may be landscape vinyl, brick, stone, or wood landscape ties. Wood and rock mulch will be restricted to no more than fifty percent of the landscaped area. Six of the twelve required shrubs may be substituted by four perennials each.

Minimum tree size for deciduous is 2" and for coniferous, 6'. Minimum shrub size is 18" in height or spread.

## **16.2 Landscape Deposit**

All landscaping must be completed within twelve months of occupancy (subject to seasonal limitations). To ensure compliance with the landscaping requirements, a \$2,500 deposit must be paid by the Purchaser to the Builder, to be refunded by the Builder, upon satisfactory completion of the landscaping.

## **17.0 Fencing**

All wood screen fencing must be consistent in design and color with the fencing style established for the neighborhood. See fencing detail attached (Appendix 'C').

Fencing Color: Cloverdale Weatherone Light Brown WST 009 Semi-Transparent

The rear property line at lots backing onto the future Multi-use Trail will have a woodscreen fence installed by the developer.

## **18.0 Accessories**

A standard address plaque must be permanently affixed.

## **19.0 Other**

Vehicular access to the rear yard (drive by or drive through) on lots backing onto the lake or park will NOT be permitted.

## **20.0 Approval Process**

### **20.1 Preliminary Submission**

To achieve the objectives of the guidelines, early in the design process, a preliminary plan must be submitted for approval. Preliminary approval will ensure the proposed plan is consistent with the objectives of the guidelines and compatible with the streetscape.

Submit preliminary design proposal consisting of scale drawings of elevation plans, floor plans, preliminary site plan (prepared by the designated surveyor), and statement of style. It shall be the responsibility of the applicant to demonstrate the characteristics and merits of the style. Acceptability of such designs will rest solely with the Developer.

The proposal will be reviewed in its entirety and designated approved, approved subject to conditions or not approved.

Once preliminary approval has been granted, you may proceed with working drawings and final application.



## **20.2 Final Application**

Final application must include the following information:

- a) Application specs
- b) One set of working drawings at 3/16" or 1/8": 1' scale (any changes from the preliminary approval must be specifically listed)
- c) Final plot plan prepared by the designated surveyor at 1:300 scale
- d) Color or material samples as may be required

The application and plans will be reviewed for adherence to the guideline objectives. If modifications are required, drawings must be revised.

Once final approval has been granted, stakeout and construction may proceed. Any changes to the house plan approval must be approved in writing prior to implementation.

## **20.3 Final Inspection and Security Deposit Return**

Upon advice from the Builder of completion of the home, site works and landscaping, a site review will be carried out to confirm conformance to the Guidelines and approvals previously granted. Advice of completion must include a grading certificate and City approval of same. The annual cut off for final inspection requests is September 30<sup>th</sup>.

Following the final approval of building and landscaping, the completion of any deficiencies, the acceptance of lot grading certificate, and confirmation that no other funds are due to the Developer, the security deposit will be refunded by the Developer.

Failure to obtain preliminary approval will not mitigate the final review process and may result in delays and additional costs to achieve compliance.

These requirements may be altered, amended or varied by the Vendor, Melcor Developments Ltd., at its sole and absolute discretion and without prior notice. Melcor and their designated consultants retain the full discretion to approve or disapprove any or all elements of a proposed development or structure. The Vendor, the Architectural Consultant, their servants, agents, contractors, appointees, shall not be held responsible or liable for the accuracy, enforcement or compliance with these Landscape and Design Requirements to any Owner, Purchaser, and/or Builder within the Subdivision.

## Appendix 'A' – Sample Color Schemes

### Jensen Lakes Phase 1A - Shoreline Collection Sample Color Schemes by Style

Craftsman	Wall cladding	Fascia	Trim	Shakes	Entry Door	Brick/Stone
Hardie (Light)	Heathered Moss	Bone	Bone	Sandstone Beige	A0557 Whole Wheat	La Plata Bluffstone
Stucco (Light)	Sierra Springs 820-3P	Grey	Grey	White	A1244 Still Waters	Sierra Mountain Ledger
Hardie (Dark)	Evening Blue	Grey	Grey	Cobblestone	A1901 Shenandoah Valley	Minaret Bluffstone
Stucco (Dark)	Velvet Crush 274-6P	White	White	Navajo Beige	A1237 Seven Lakes	Cascade Rustic Ledger

*Suited Stone Profiles - Mountain Ledger, Rustic Ledger, Cliffstone, Bluffstone*

French Country	Wall cladding	Fascia	Trim	Louvers/Shutters	Entry Door	Brick/Stone
Stucco (Light)	Greenwich Village 16-1P	Grey	Grey	Cobblestone	A1552 Picket	Bergamo Hillstone
Stucco (Light)	Frosted Dawn 53-3P	Wicker	Wicker	Navajo Beige	A1363 Balkan Sea	Lucera Hillstone
Stucco (Dark)	Siende 830-6P	Bone	Bone	Cobblestone	A1880 Tennessee Haze	Andante Field Ledger
Stucco (Dark)	Taupe 25-6P	Wicker	Wicker	Monterey Taupe	A0767 Desert Valley	Orchard Cypress Ridge

*Suited Stone Profiles - Cypress Ridge, Cobblestone, Hillstone, Limestone, Field Ledger, Cliffstone*

Modern Beach	Wall cladding	Fascia	Trim	Panels	Longboard	Entry Door	Brick/Stone
Stucco (Light)	Pagan Stone 820-1P	Grey	Grey	Pearl Grey	Light Grey	A1272 Bayouville Blue	Nantucket Stacked
Stucco (Light)	Bract Grey 136-1P	Bone	Bone	Navajo Beige	Linen	A1225 Deep Pool	Dry Creek Stacked
Stucco (Dark)	Shadow Grey 16-6P	White	White	Pearl Grey	Seawolf	A0461 Cheerful Coral	Nantucket Stacked
Hardie (Dark)	Monterey Taupe	Bone	Bone	Cobblestone	Sandstone	A0991 Shy Blossom	Alderwood Stacked

*Suited Stone Profiles - Stacked, Mountain Ledger, Ledgercut*

Prairie	Wall cladding	Fascia	Trim	Panels	Entry Door	Brick/Stone
Hardie (Light)	Aged Pewter	Clay	Clay	Navajo Beige	A0733 Grand Canyon	Nantucket Stacked
Stucco (Light)	Dakota Bonfire 283-6P	Wicker	Wicker	Cobblestone	A0998 Mahan's Haze	Alderwood Stacked
Hardie (Dark)	Timberdark	Grey	Grey	Monterey Taupe	A1321 Lakemont Blue	Montecito Cliffstone
Stucco (Dark)	Chocolate Cape 295A-6A	Wicker	Wicker	Autumn Tan	A1293 Smoked Turquoise	Sierra Mountain Ledger

*Suited Stone Profiles - Stacked, Mountain Ledger, Cliffstone, Brick*

Coast Nouveau	Wall cladding	Fascia	Trim	Shakes	Entry Door	Brick/Stone
Hardie (Light)	Pearl Grey	Grey	Grey	Cobblestone	A0445 Sun Kiss	Profit Ledgerstone, Southwest Blend*
Hardie (Light)	Sandstone Beige	Bone	Bone	Navajo Beige	A1356 Blue Jay	Drystack Ledgerstone, Caramel*
Hardie (Dark)	Autumn Tan	Bone	Bone	Sandstone Beige	A1250 Rialto	Profit Ledgerstone, Platinum*
Hardie (Dark)	Monterey Taupe	Bone	Bone	Cobblestone	A1236 Prince Edward Isle	Country Ledger, White Oak*

*Suited Stone Profiles - Rustic Ledger, Stacked*

#### Trim Selections - by Style

	Bone	Wicker	Ivory	Grey	White	Clay
Prairie		✓		✓		✓
Coast Nouveau	✓	✓		✓		
Craftsman	✓	✓	✓	✓	✓	
French Country	✓	✓		✓		✓
Modern Beach	✓	✓		✓	✓	

Stucco colours referenced are Inazzo.  
Stone referenced is manufactured by Dorrado, unless noted. \*Boral  
Longboard colours referenced are manufactured by Mayne.  
Entry door paint colours referenced areICI.  
Shake and Panel colours referenced are manufactured by James Hardie.  
Fascia and trim selections are limited to the following: Bone, Wicker, Ivory, Grey, White and Clay.





## Appendix 'B' – Entry Door Manufacturer and Product Codes

### All Weather Windows & Doors

#### French Country

- (1) Sierra 2 Panel Plank cambre top BLW-2P
- (2) Hollister 2 Panel w/ Sienna oval light (Obscure Pear Glass) BLC-304-817-2

#### Craftsman

- (3) Barrington Craftsman w/ CBT Glass BRC-226-CBT-3
- (4) 404-1 Clear glass or SDLs to match windows 404-1

#### Prairie

- (5) Barrington Flagstaff Plank BFS-P
- (6) 122-1 w/ Clear glass

#### Modern Beach

- (7) 3 Panel equal w/ clear glass inserts SHD-3E
- (8) 122-X w/ Clear glass

#### Coast Nouveau

- (8) 122-X w/ Clear glass

### Jeldwen

#### French Country

- (9) 718 w/ clear glass
- (11) A5037 Knotty Alder Woodgrain door
- (12) A5037 w/ Radius top

#### Craftsman

- (13) ¾ light w/ clear glass or SDLs to match windows
- (14) A362 Door w/ A1103 Sidelights

#### Prairie

- (13) ¾ Light w/ clear glass
- (15) 4&3 light doors pg.29 w/ clear glass

#### Modern Beach

- (16) Full light w/ Clear glass

#### Coast Nouveau

- (16) Full light w/ Clear glass

## Plygem

### French Country

(17) Hollister 2P TI Slab w/ Clear Glazing or tanglewood

(18) Cheyenne 2P Plank C Slab

### Craftsman

(19) 2P Craftsman U Slab

(20) DRS-6SDL

### Prairie

(21) DRR IPSPST 36x8

(22) 22"x48" clear glazing standard doorlites

### Modern Beach

(23) Full glass w/ clear glazing 20"x64" standard doorlites

### Coast Nouveau

(23) Full glass w/ clear glazing 20"x64" standard doorlites



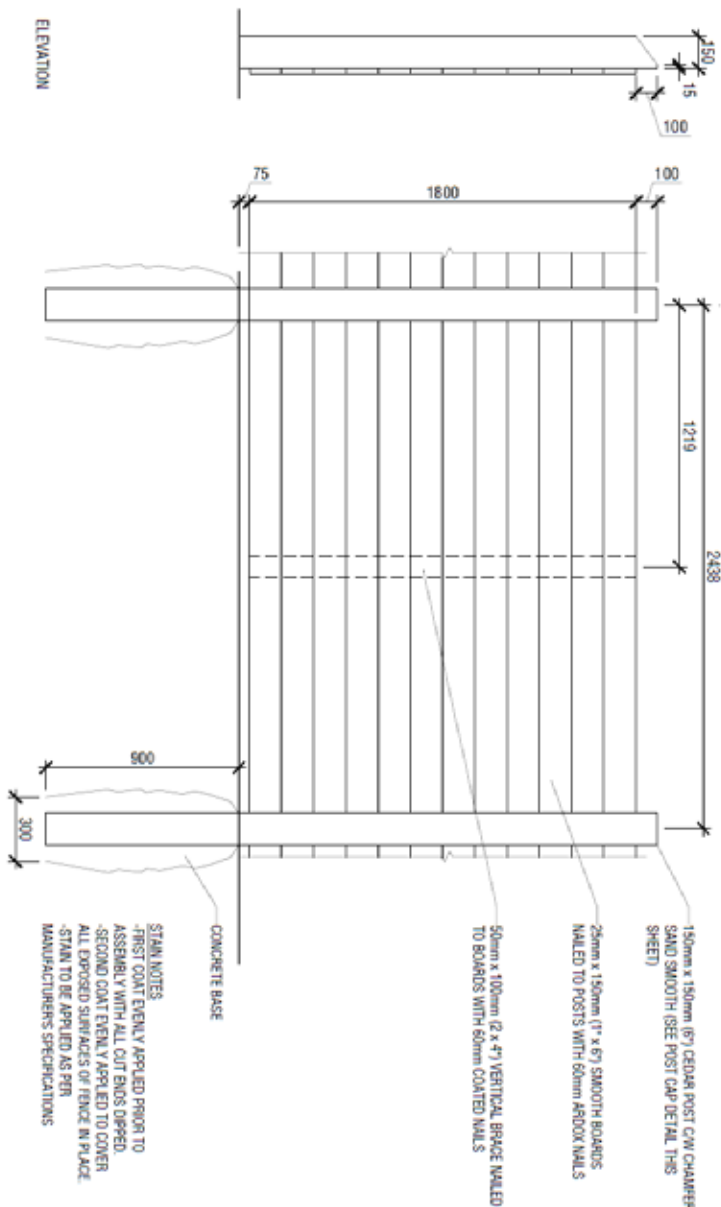


MELCOR JENSEN LAKE

20150120\_MELCOR JENSEN LAKE FENCING DETAIL (REVISED) - 10/15/2015 - 10/15/2015

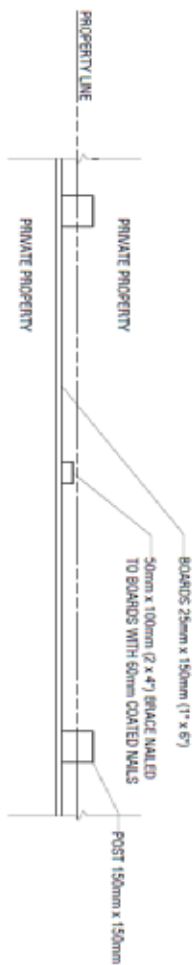
1.0m HEIGHT HORIZONTAL SLAT WOOD SCREEN FENCE.  
SCALE 1:25

ELEVATION



STAIN COLOR:  
CLOVERDALE WEATHERONE  
LIGHT BROWN WEST 009  
SEMI-TRANSPARENT

PLAN



FENCE DETAIL

December 21, 2015  
E.O. 38976.000

## Appendix 'D' – Directory

Developer:  
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Engineer:  
IBI Group Inc.

Architectural Consultant / Applications:  
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